



State of Utah

JON M. HUNTSMAN, JR.
Governor

GARY R. HERBERT
Lieutenant Governor

Department of Administrative Services

D'ARCY DIXON PIGNANELLI
Executive Director

Division of Facilities Construction and Management

F. KEITH STEPAN
Director

ADDENDUM #2

Date: 23 September 2005

To: Contractors

From: Rick James, DFCM

Reference: Monument Valley Vendor Village
Utah Navajo Trust Fund
DFCM Project 03272300

Subject: **Addendum No. 2**

Pages	Addendum	1 page
	Participation Agreement (including Attachment "A")	4 pages
	A/E Addendum Attachment	7 pages
	<u>Addendum Drawings</u>	<u>14 pages</u>
	Total	26 pages

Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

1.1.1 All of the attached sheets are included in Addendum No. 2.

1.1.2 The attached document titled "Participation Agreement" and the exhibit "A" are included in Addendum No. 2.

1.1.3 The Bid Opening time and Date has been changed to Wednesday, September 28, 2005 at 3:30 PM.

End of Addendum

Monument Valley Vendor Village
DFCM Project number: 03272300

ADDENDUM NUMBER TWO

General Items:

1. Because this project is taking place within the territorial limits of the Navajo Nation, contractors and subcontractors shall give employment preference to Native Americans living on or near the Navajo Nation in hiring employees to work on the project, provided such Native Americans are qualified for the specified work and have applied in a timely manner with the contractor or subcontractors.
2. Contractor must comply with applicable provisions of the Participation Agreement attached hereto and by this reference incorporated herein. (see attachment)
3. At the contractors option wood framing may be substituted for all light gauge metal framing for interior partitions. Wood framing may be substituted using members of comparable size.

Items Pertaining to Specifications:

1. Provide Specification Section 08311 – “Overhead Coiling Doors” as attached within this addendum. Refer to attached supplemental drawings for additional information.
2. Regarding Additive Alternates – Cost for Building “D” shall be listed on bid return proposal as Additive Alternate No. 1. Cost for Building “A” shall be listed on bid return proposal as Additive Alternate No. 2.
3. Regarding Specification Section 01035 – Add the following at the beginning portion of this specification – “All requirements of the General Conditions apply to this specification.”
4. Regarding Specification Section 03310 – All interior concrete floor slabs intended to be exposed as per Room Finish Schedule shall be integrally tinted in color to be approved by architect. This color shall be in the red range to be selected from standard tint additive colors. Finish shall be steel troweled and polished using a sealer and wax treatment. Surface “shake” finishes are not approved for use.
5. Regarding Specification Section 01631-2. Omit the following text from this specification:
 - a. “1. Extensive Revision to the Contract Documents are not required.”
 - b. “2. Changes are in keeping with the intent of the Contract Documents.”
 - c. “4. The request is related to an “or equal” clause.”

Items pertaining to drawings:

1. Regarding Sheet C101
 - a. – Reference Note No. 1 – Delete reference to additive alternate for paving material. Asphalt paving and ground preparation shall be provided as part of base bid cost.
 - b. – Reference Note No. 6 – Security camera equipment referenced in this note is not to be provided as part of this contract. See Electrical Site plan for locations for junction boxes for Security equipment.
 - c. Reference Note No. 16 – Change this note to read, “Provide (2) disabled access stalls including pavement marking and signage to meet all applicable ADA code requirements.
 - d. – Reference Note No. 17 – Asphalt striping shall be provided as base bid cost. Delete reference to providing an alternate cost.
 - e. – Reference Note No. 19 – Concrete paving shall be provided as base bid cost. Delete reference to providing an alternate cost.
2. Regarding Sheet C102
 - a. Regarding Reference Note No. 1 – “Site Masterplan” is included as part of this addendum (SD-3a & b). Plan provided is to be used for general location of items not included as part of this contract and to provide specific direction on the location of Building “E” included as part of this base bid. All final locations shall be verified with adjacent contractor as required.
 - b. Regarding Reference Note No. 6 – delete this note.
 - c. For determination of building placement of Building “E”, refer to Reference Note No. 1 - Note shown at lower-center of this sheet and information provided on Site Masterplan drawing indicating distance to south line of overall property. Final position of building shall be verified with architect prior to initiating any work on this project.
 - d. Reference Note No 2 – Leader line and arrow shall be redirected to concrete paving located above reference note and outside of project limit line.
 - e. Delete Reference Note No. 8.
3. Regarding Sheet No. CR-101
 - a. Regarding Code Analysis chart for building “E”. Change occupancy group from “M” occupancy to “A-2” occupancy. Tabular area listing shall be changed from 9,000 SQ. FT. to 6,000 SQ. FT. Area Modifications calculations for this building shall be changed from a total allowable area of 15,398 SF to 10,260 SF. Total number of occupants shall be changed from (36) occupants to (72) occupants.
 - b. Regarding Code Analysis chart for building “F”. Change occupancy group from “M” occupancy to “B” occupancy. Total number of occupants shall be changed from (36) occupants to (34) occupants.
4. Regarding Sheet No. A-101
 - a. Remove Reference Note No. 1 regarding pre-engineered building shell. If the General Contractor elects to utilize a pre-engineered wood building it

is required that all applicable codes be met including adherence to ICBO listings. If this method is utilized shop drawings shall be provided for approval to architect prior to ordering pre-engineered wood building products.

- b. Regarding Reference Note No. 18 – Change detail reference listed from 12-8501 to 12 on sheet A501.
- c. Regarding Reference Note No. 13 – Frost Proof Hose Bibbs shall be provided at east end of Buildings A, B, C, D and E. These are not shown on plumbing drawings. Locate frostproof hose bibb at center of wall to allow extension of fixture to be contained within wall cavity.
- d. Regarding Roof plan – HVAC units shown to occur on roof shall be positioned as wall mount on braced platform included as part of this addendum.

5. Regarding Sheet No. A-102

- a. Clarification - Outside $\frac{3}{4}$ " radius corners at CMU wall construction is intended to occur only at outdoor eating area wall construction. This detail is not intended for other exposed building corners on project.
- b. Regarding Reference Note No. 9 – Delete reference to sink provided as counter mounted sink. Provide a (3) compartment sink similar to Elkay – RNSF-8358 LR. Provide a flush mounted - underfloor grease separator at each of the two sink locations for a total of (2) grease separators. Provide faucet as previously specified. Grease trap detail is provided in the addendum as SD-05. (see attachment)
- c. Change Grid designations on this sheet to contain "E" instead of "B" designations as currently shown.
- d. Change designation of (4) coiling doors from Door – 2G to new door 2E. Refer to supplemental drawings provided within this addendum for added information – SD-02, sheets a, b & c. See specification section 08331 provided as part of this specification for three coiling doors.
- e. Regarding Reference Note No. 18 – Overhead coiling doors are indicated to be shown as dashed lines but are shown on this drawing sheet as solid lines.
- f. Delete all reference on this sheet to electrical outlets. Electrical installation of power and lighting shall be performed in accordance with drawings listed as "E" prefix drawings only. Delete Reference Notes on this page referring to electrical installation of outlets including Note No. 19.
- g. Change swing of doors labeled 2D from each of four locations to out-swinging doors.
- h. Regarding Roof plan – HVAC units shown to occur on roof shall be positioned as wall mount on braced platform included as part of this addendum.

6. Regarding Sheet No. A-103

- a. Regarding dimension shown at Grid Line F-D and F-1 of a radius to the front of the facility of 785'-3" as referenced to the site plan. This dimension is currently indicated on the site plan as 795'-3". The correct dimension shall be 785'-3".
- b. Regarding Reference Note No. 25 – Delete requirement for telephone enclosure at this facility.
- c. Regarding Reference Note No. 26 – Attic access ladder shall be installed in Room F13. Ladder shall be constructed using steel bar side rails and ¾" steel rungs at 12" o.c. with a non-slip surface. Provide ladder mounted to wall and floor.
- d. Reference Note No. 3 shall be changed from "Not Used" to "Wall construction shall include 3 5/8" light gauge framing (20 Gauge) at 16" o.c. with 5/8" gypsum board both sides extending to bottom of structure. Provide waterproof gypsum board in toilet room locations. Finish as per finish schedule. Provide sound insulation with stud cavity space at this wall.
- e. Reference Note No. 4 shall be changed from "Not Used" to "CMU wall construction. Provide as per detail similar to 03/A-312."
- f. All Reference Notes indicated with an "A" prefix shall be deleted.
- g. Door listed as 3H as shown at plumbing chase separating Men's F09 and Women's F10 shall be changed to 3G as shown on door schedule.
- h. Reference Note No. 22 shall be changed from "Not Used" to "Toilet Partition – See interior elevations." This shall apply to three partitions units in Men's Toilet F09 and Women's Room F10.
- i. The sales counter indicated in Room F01-Sales shall be N.I.C.
- j. Partition walls forming room enclosures for all rooms in this building, unless noted otherwise, shall include 3 5/8" Lt. Gauge framing (20 Gauge) with 5/8" gypsum board both sides. Extend to bottom of trusses and finish as per finish schedule.
- k. Change to out-swinging doors in the following locations:
 - i. Office F05
 - ii. Mechanical F06
 - iii. Storage F11 – (2 doors)
 - iv. Driver's Lounge F12
 - v. Janitor F13
 - vi. Police F16

Door sizes, frame types and hardware shall be listed
- l. Regarding Roof plan – HVAC units shown to occur on roof shall be positioned as wall mount on braced platform included as part of this addendum.

7. Regarding Sheet No. A-111

- a. Regarding Reference Note No. 3 – Painting at roof structure shall include all roof trusses, exposed ductwork, conduit, and all other items viewed from below including bottom of roof deck. Do not paint items such as

light fixtures and other low voltage items whose integrity may be compromised by painting.

- b. Regarding Reference Note No. 6 – Roof hatches shall be planned for (1) per building. Final location to be determined by architect to occur between roof structure members.

8. Regarding Sheet No. A-201

- a. Regarding reference No. 3 – Metal Panel Roof system shall not be provided by “Building Shell Manufacturer” but by General Contractor in accordance with Specification Section 07610. Color shall be selected by architect from manufacturer’s standard color range. A minimum of (8) colors shall be offered for selection as standard.
- b. Regarding Reference Note No. 12 – Sound equipment shall be provided as per Electrical drawings included with Contract Documents.

9. Regarding Sheet No. A-202

- a. Delete all references on this sheet to pre-manufactured building.

10. Regarding Room Finish Schedule Sheet A-401 – Owner shall be responsible to provide and install all areas reference to receive carpeting. This shall be N.I.C.

11. Regarding Sheet A402

- a. Delete details 01, 02, 03, 04, 05, 06 ,07 and replace using details SD-01a through SD-01g provided as part of this addendum. These details provide a solid structural frame for the overhead rolling doors at each of the vendor positions and change the size of the adjacent hollow metal door frame for the entry doors.

12. Structural Drawings

- a. All reference to “Clearly” or “Cleary” buildings is indicating previous strategy of completing building shell by pre-manufactured means. It is now anticipated that the building shell shall be completed using conventional wood framing as indicated on drawings. If the General Contractor elects to utilize a pre-engineered wood building it is required that all applicable codes be met including adherence to ICBO listings. If this method is utilized shop drawings shall be provided for approval to architect prior to ordering pre-engineered wood building products.

13. Mechanical Drawings

- a. Concrete pad mounted HVAC units FC-1 (3,5,7) and EC-10 shall be removed from ground mounted positions and mounted on elevated metal grating platforms on east side of each building structure (Buildings A, B, C, D and E). Gratings shall be constructed using 4’ x 4’ platform sizes with 1 ½” welded metal angle at each perimeter and braced to wall below using two metal angles. (Refer to attachment SD-04 for section detail at wall location for equipment support.) This shall a total of (10) platforms. All platforms to be located on east side of building so as to be unexposed from parking lot areas.

14. Electrical Drawings

The following is a description of changes to the electrical construction documents for the Electrical Addendum, dated 20 September 2005 for the Monument Valley Vendor Village located in Monument Valley, Utah. Contractor shall include all addendum items on the red line drawings:

Item E-1.1: Sheet E-000: Electrical Schedules:

1. Refer to the following list for approved light fixtures.

The following items, trade names, products, and manufactures are approved for bidding. Approval does not relieve the bidder from satisfying the intent of the requirements of the drawings, specifications, and addenda in every respect. Failure to conform to the design quality and standards specified, established, and required may result in later disapproval. If equipment must be disapproved after bidding, supplier shall supply specified equipment at no extra cost to the owner.

Items are listed generally and specific model number, etc. shall be as submitted. Items submitted but not approved either did not satisfy the requirements, showed insufficient data, or arrived after the deadline established for submittals.

<u>TYPE</u>	<u>SPECIFIED</u>	<u>APPROVED</u>	<u>APPROVED</u>
A1	COLUMBIA	LSI	DAYBRITE
A2	COLUMBIA	LSI	DAYBRITE
A3	HUBBELL	ARK	DAYBRITE
A4	COLUMBIA	LSI	DAYBRITE
A5	COLUMBIA	LSI	DAYBRITE
A6	COLUMBIA	LSI	DAYBRITE
D1	PRESCOLITE	LSI	FINELITE
PF1	GUTH	LURALINE	DAYBRITE
PN1	HILITE	LURALINE	TMS
A13	SPAULDING	LSI	EMCO
A23	SPAULDING	LSI	EMCO
S1P	SPAULDING	LSI	EMCO
S2	SPAULDING	LSI	EMCO
T1	PRESCOLITE	LSI	THOMAS
W1	AAL	**	**
X1	PRESCOLITE	EELP	THOMAS
X2	PRESCOLITE	EELP	THOMAS
W1	**Contractor allowance: \$429.00 each excluding lamp and freight.		

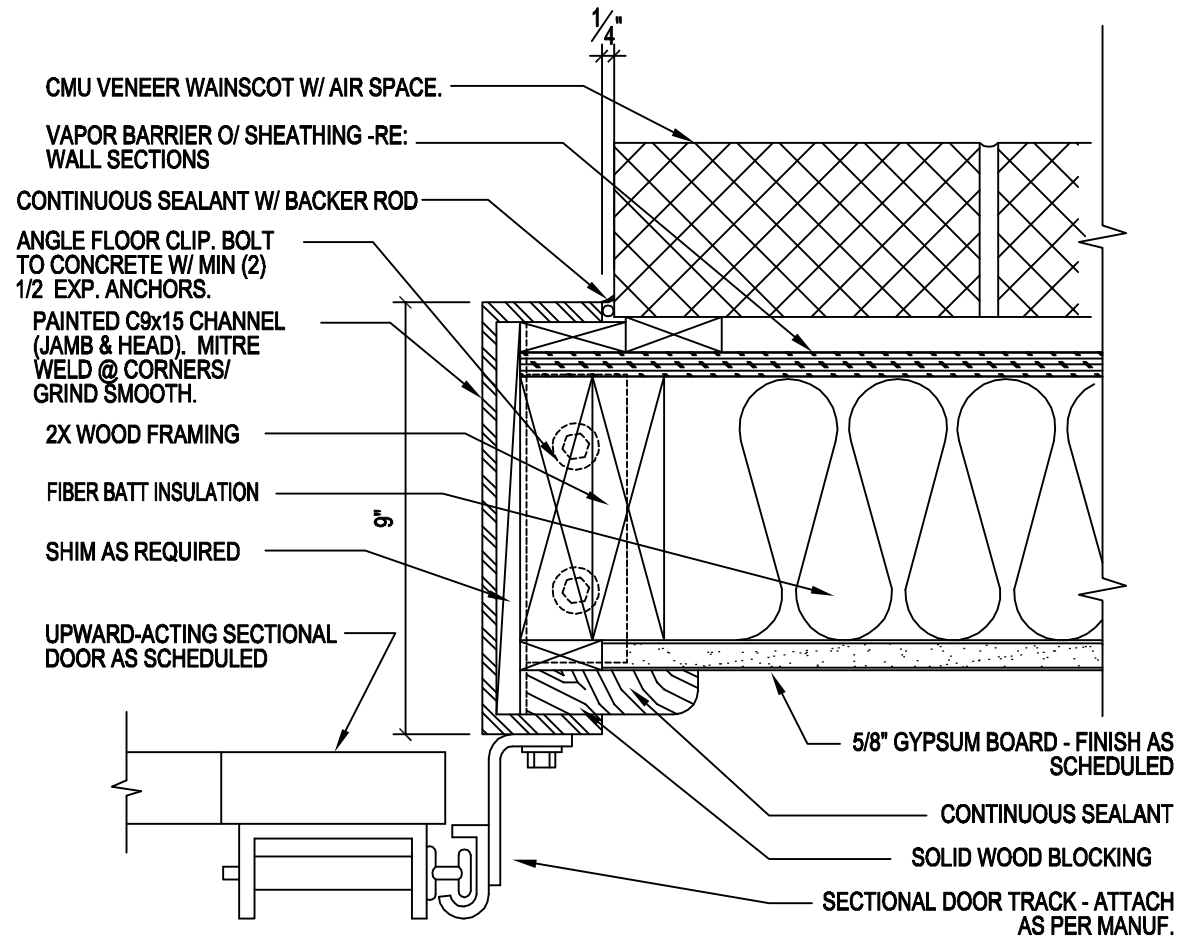
Item E-2.1: Sheet E-101: Site Electrical Plan:

1. Electrical contractor shall provide a concrete pad for the utility padmount

transformer. Refer to the attached 8-1/2 x 11" sheet.

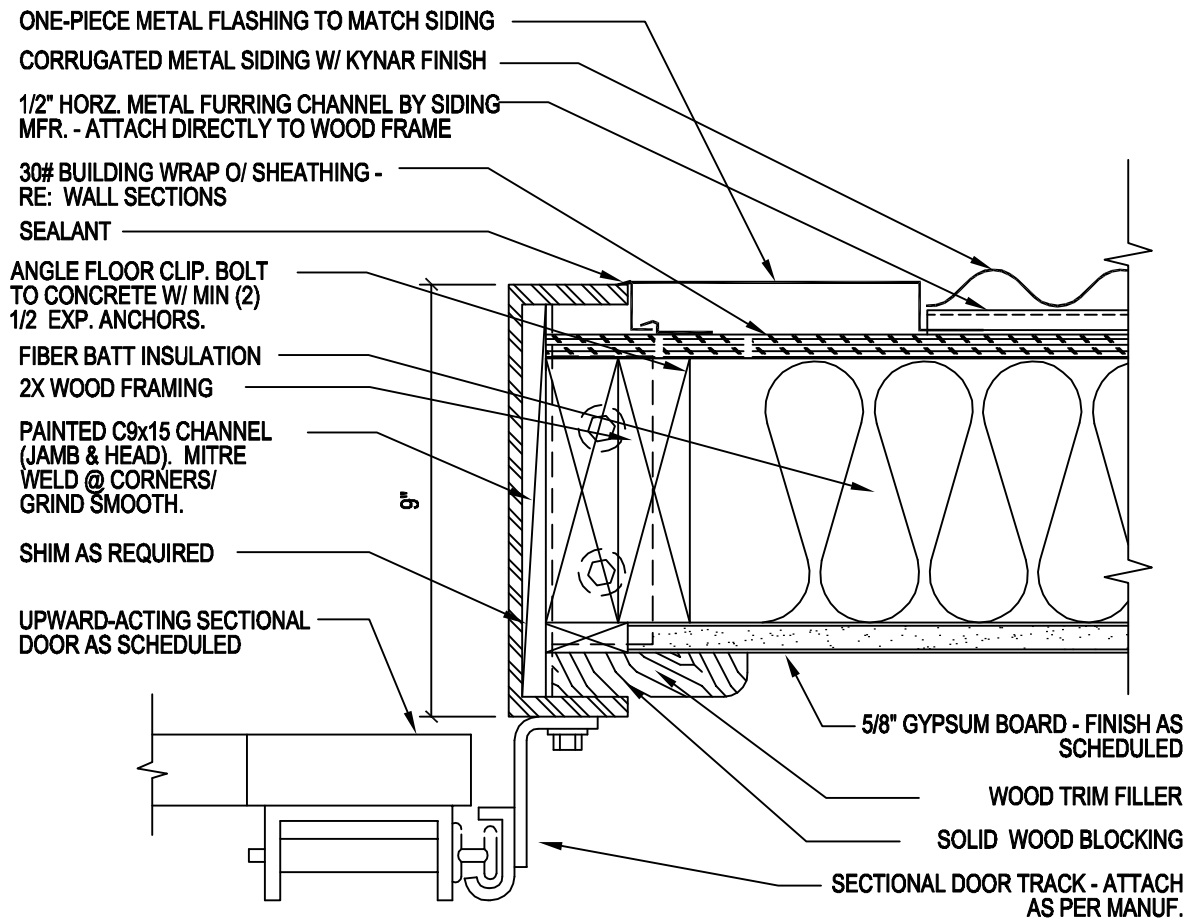
2. The location of the transformer has changed. Refer to the relocation information provided in the architectural section of this addendum.

END OF ADDENDUM

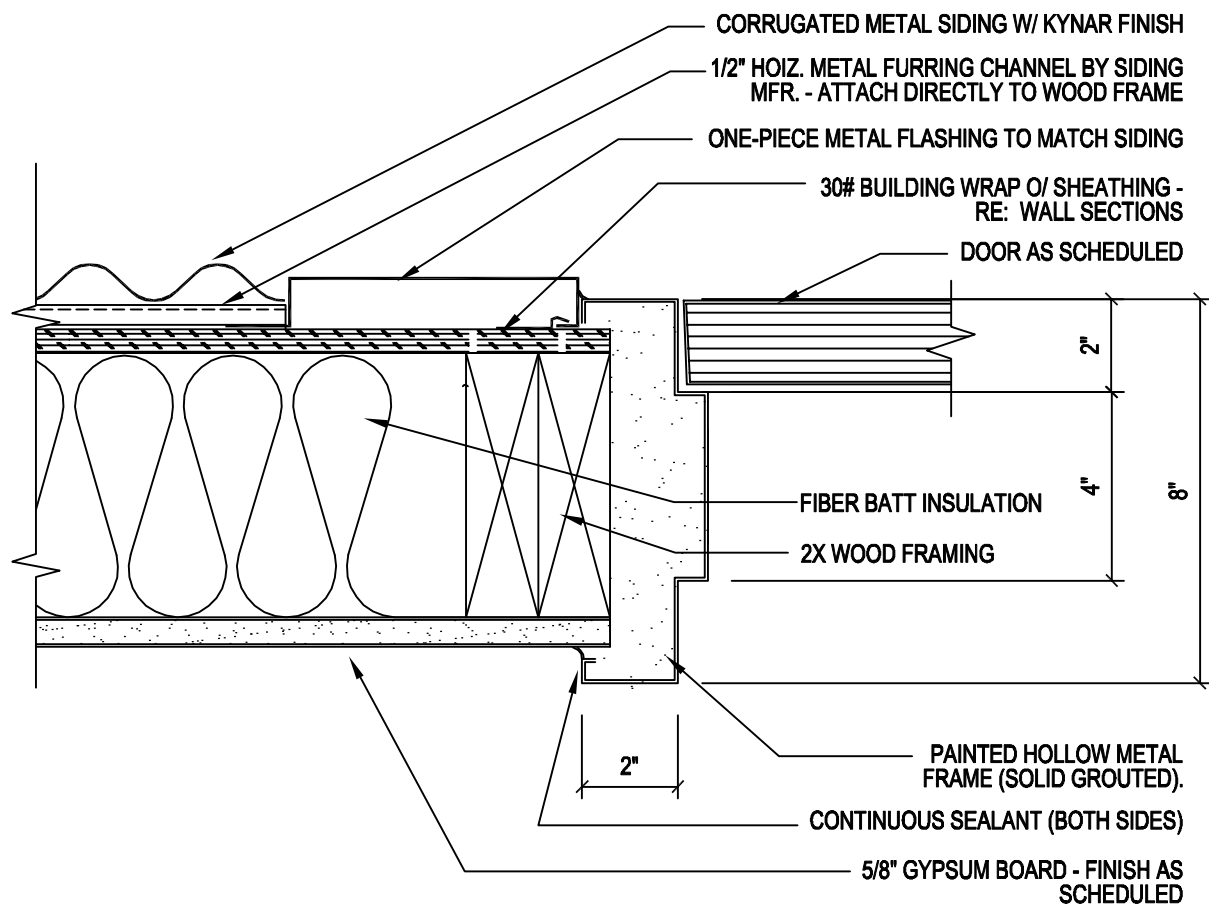


JAMB DETAIL @ WAINSCOT

SCALE: 3" = 1'-0"



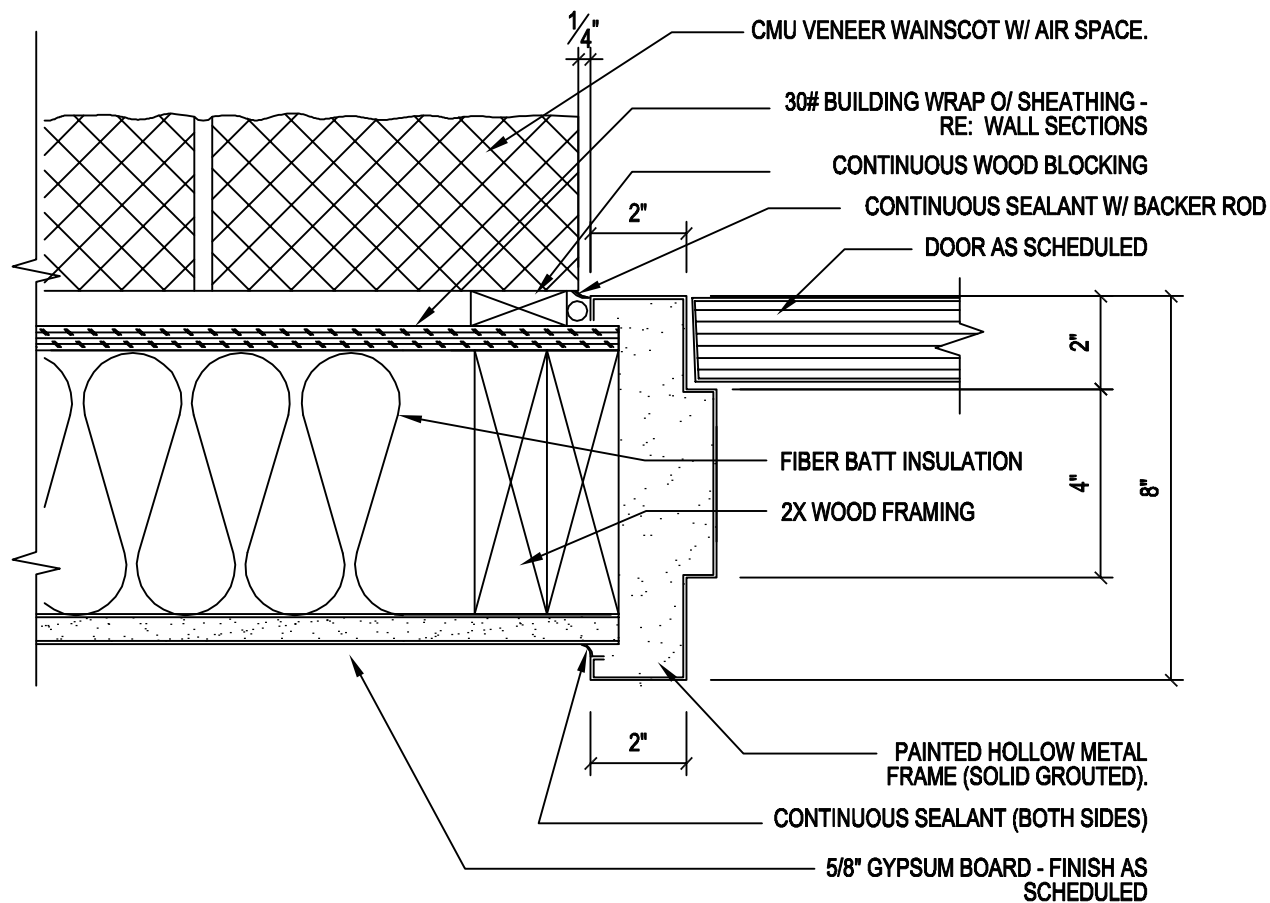
06 JAMB DETAIL @ SIDING
A-402 SCALE: 3" = 1'-0"



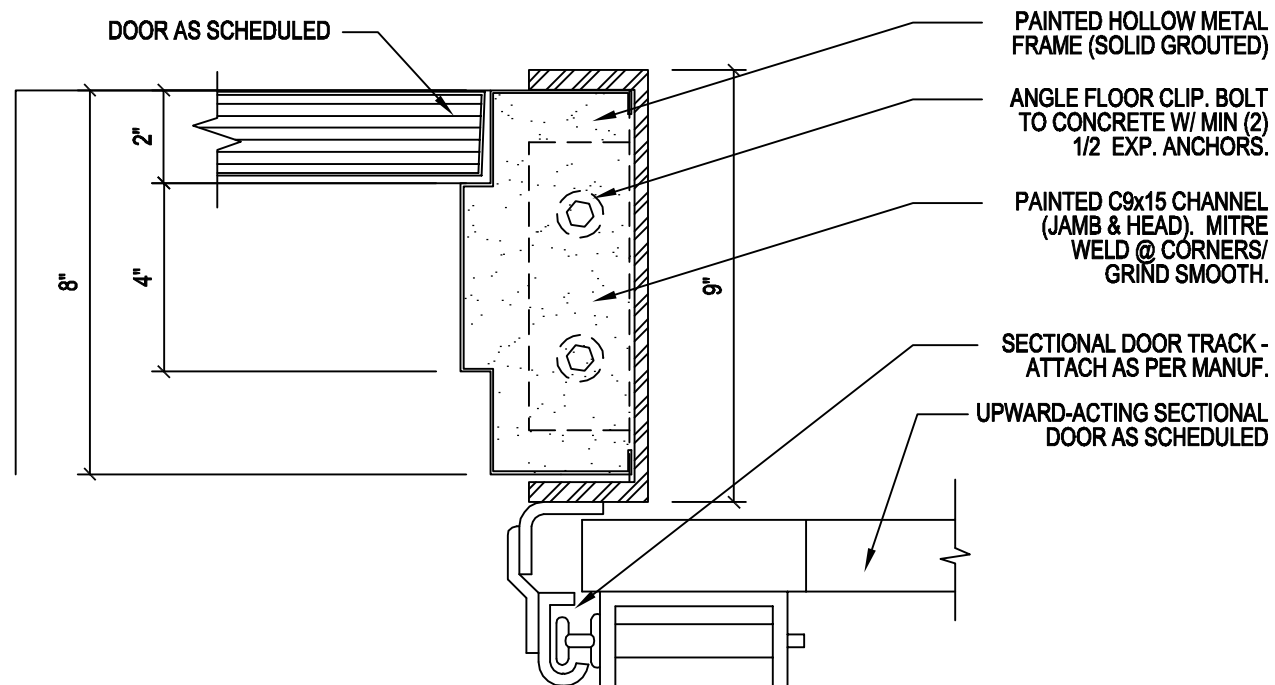
02
A-402

DOOR JAMB DETAIL @ SIDING

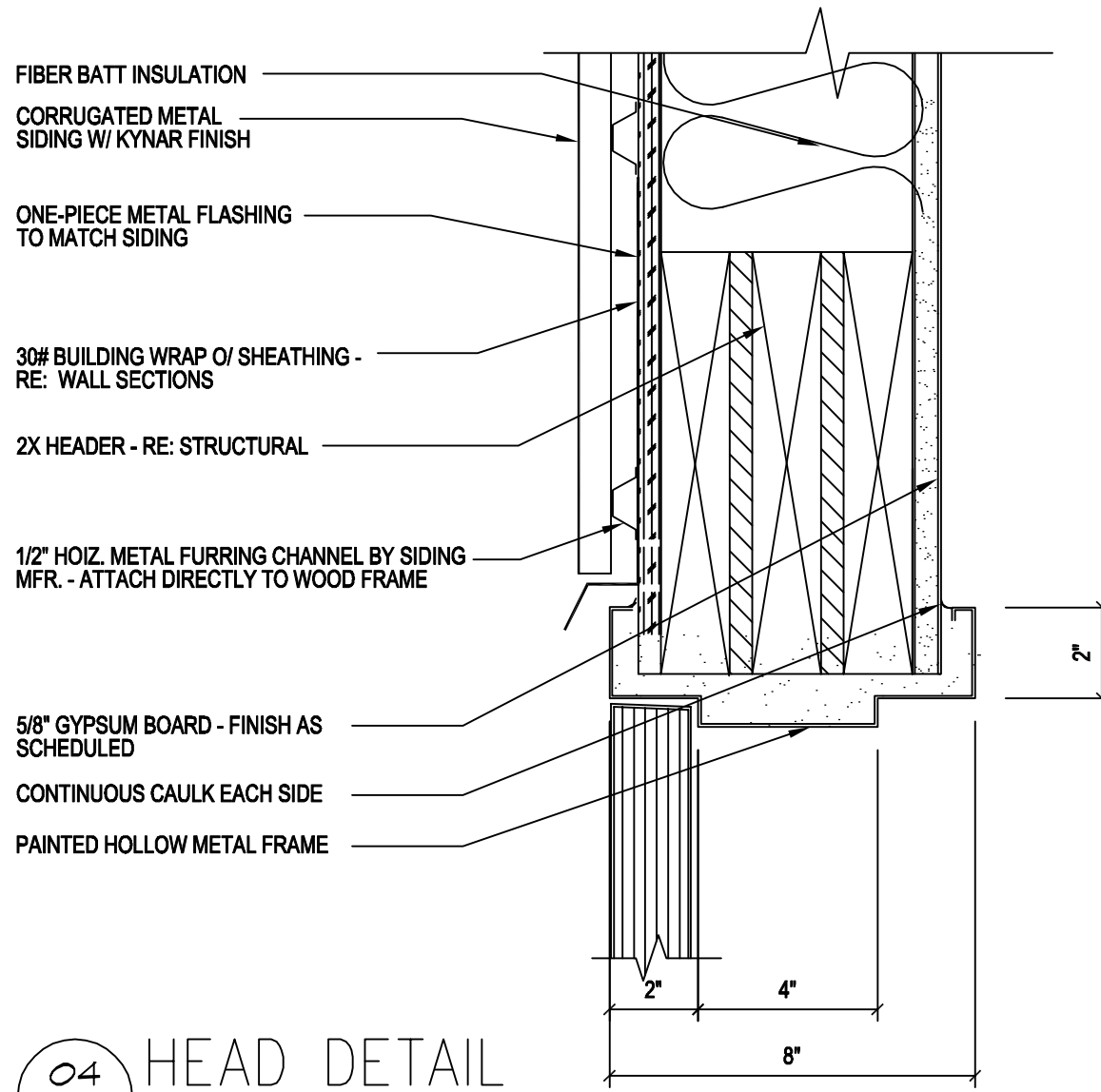
SCALE: 3" = 1'-0"



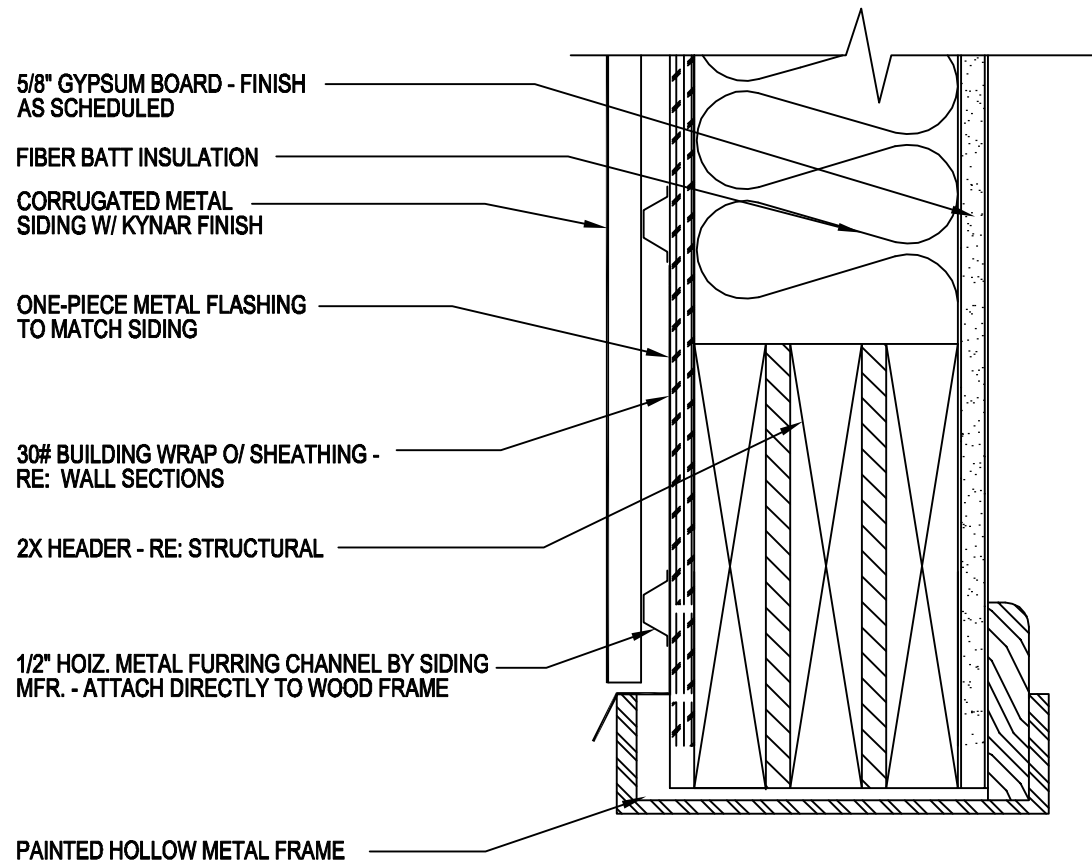
01 DOOR JAMB DETAIL @ WAINSCOT
A-402 SCALE: 3" = 1'-0"



03 JAMB DETAIL
A-402 SCALE: 3" = 1'-0"



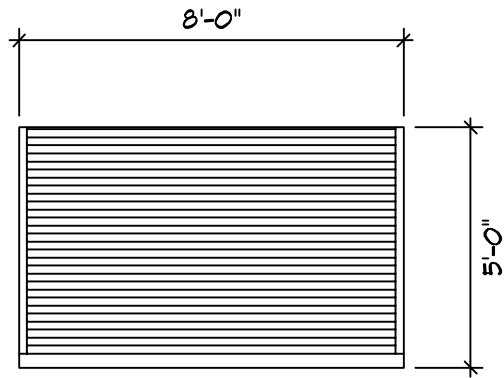
04 HEAD DETAIL
 A-402 SCALE: 3" = 1'-0"



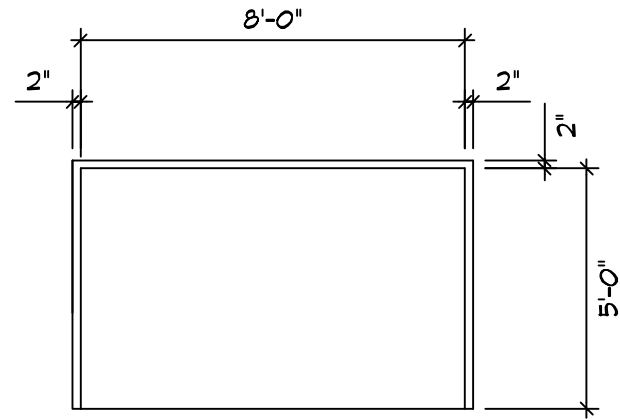
07 HEAD DETAIL
A-402 SCALE: 3" = 1'-0"

DOOR AND FRAME SCHEDULE

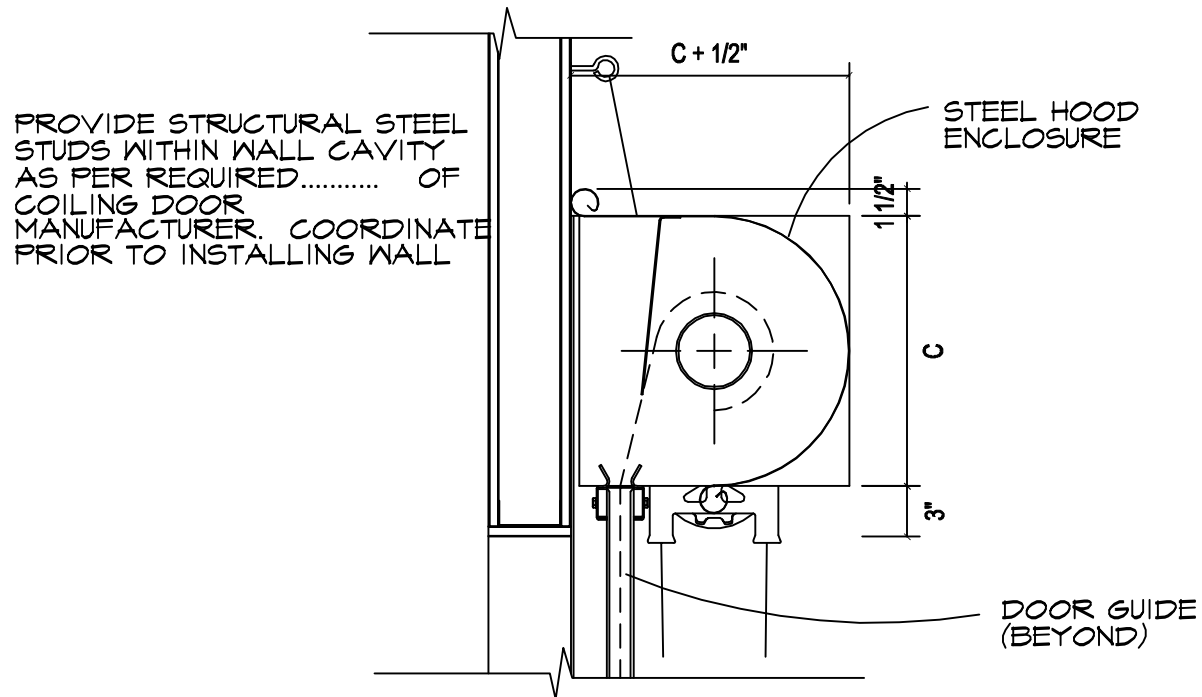
DOOR NUMBER	LOCATION	DOORS									FRAMES										DOOR RATING LABEL	HARDWARE GROUP	NOTES
		DOOR SIZE				TYPE	MAT'L			TYPE	MAT'L			DEPTH	DETAILS								
		WIDTH	HEIGHT	THICKNESS	SINGLE/PAIR		HOLLOW METAL	WOOD	ALUMINUM		HOLLOW METAL	ALUMINUM	WOOD										
HEAD	JAMB			THRESHOLD																			
2E	FOOD COURT- SALES	8'-0"	5'-0"		S	B			A	L	H				1/ SD-02b	2/ SD-02c							



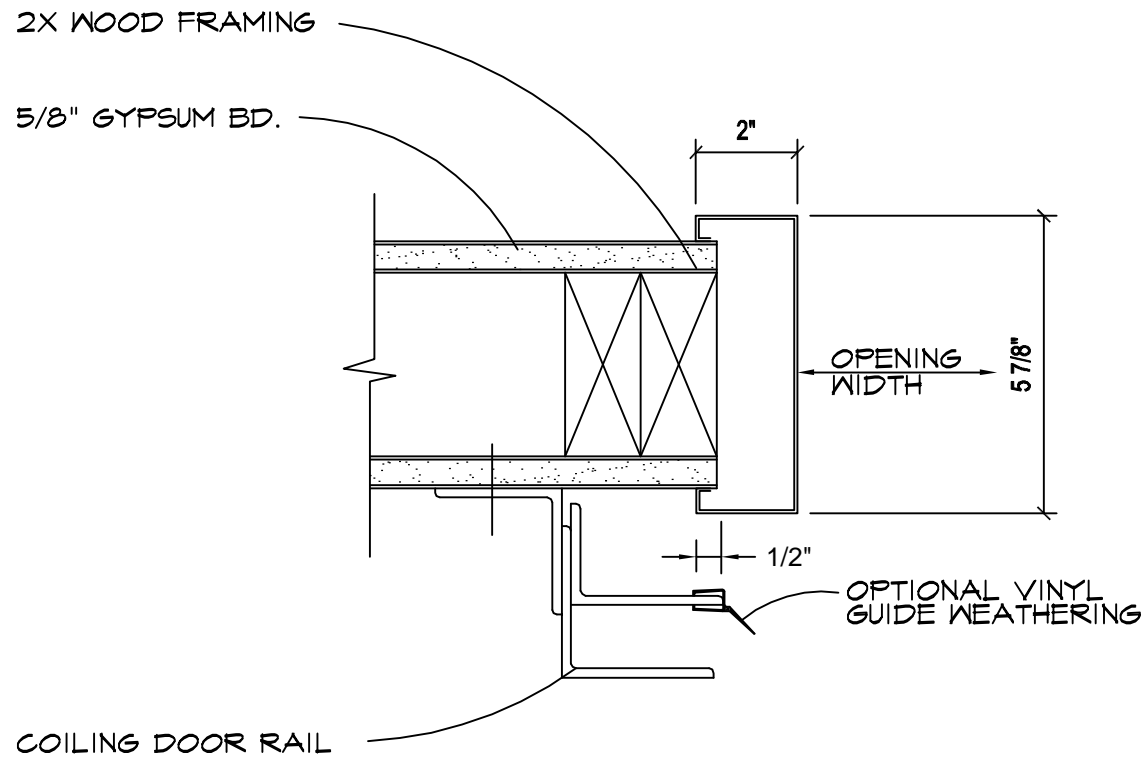
TYPE B



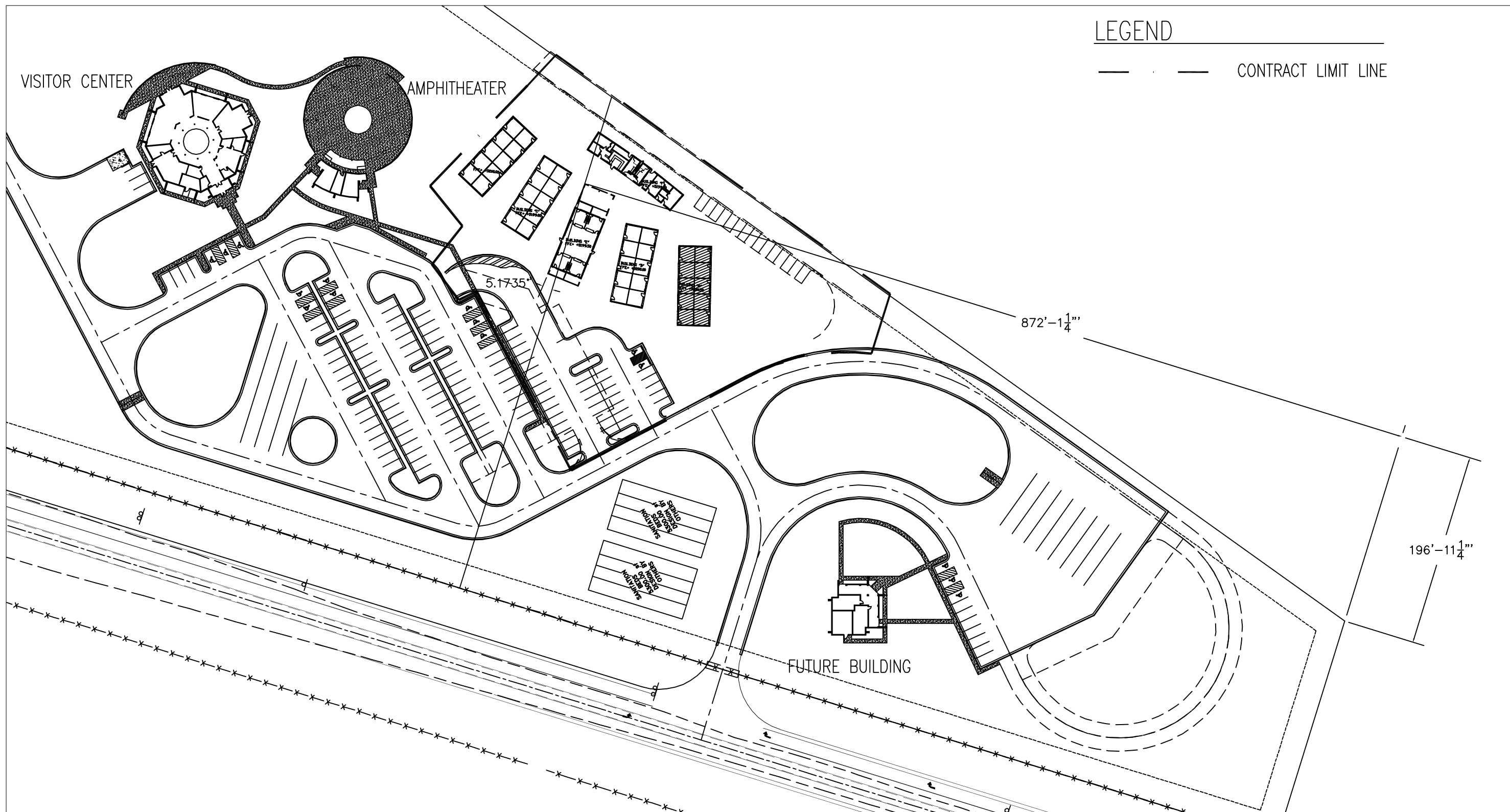
TYPE J



1 COILING DOOR HEAD DETAIL
 SD-02b SCALE: 3" = 1'-0"

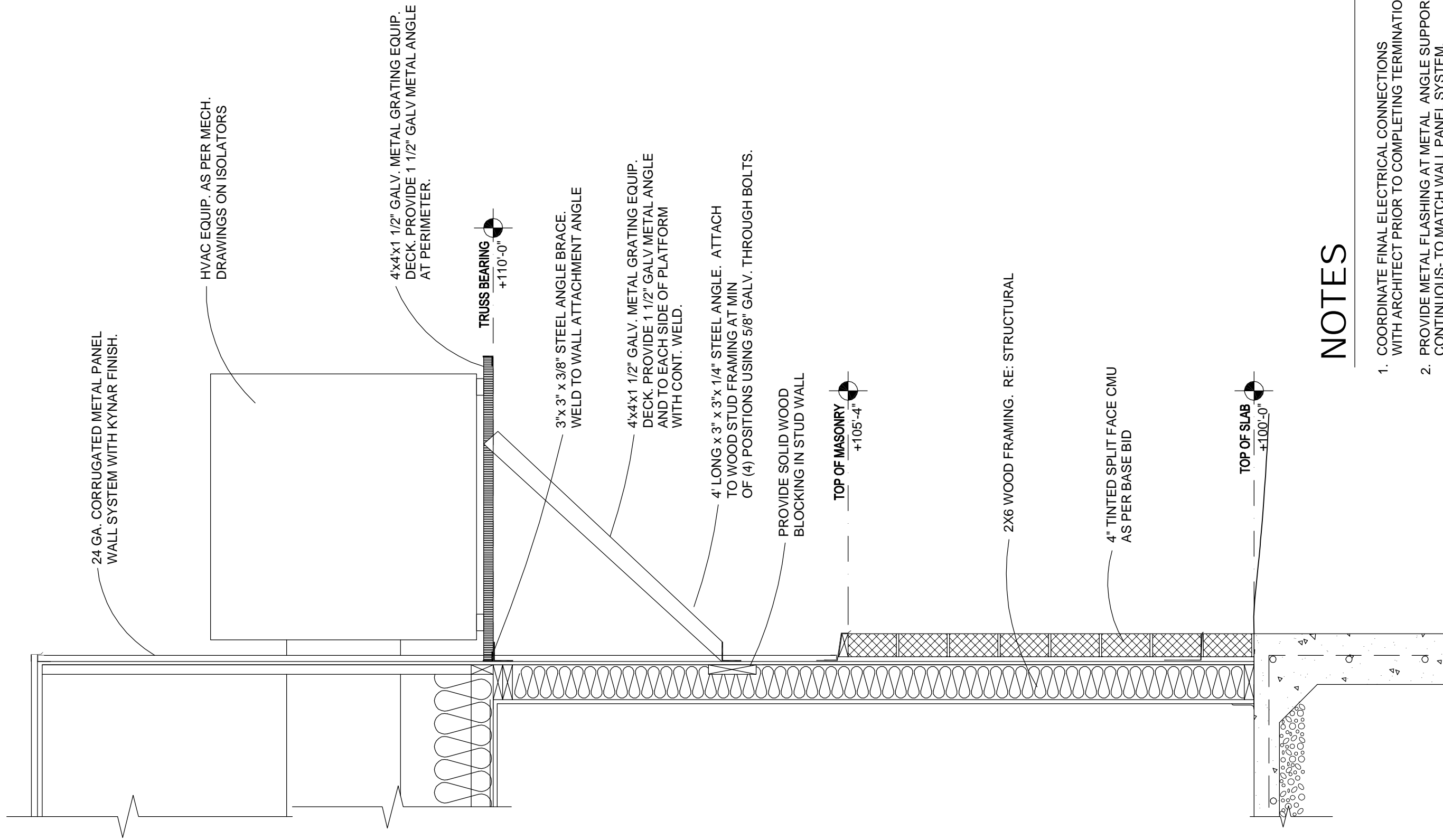


2 TYP. COILING DOOR RAIL DETAIL
 SD-02c SCALE: 3" = 1'-0"



MASTER PLAN
SCALE: N.T.S.





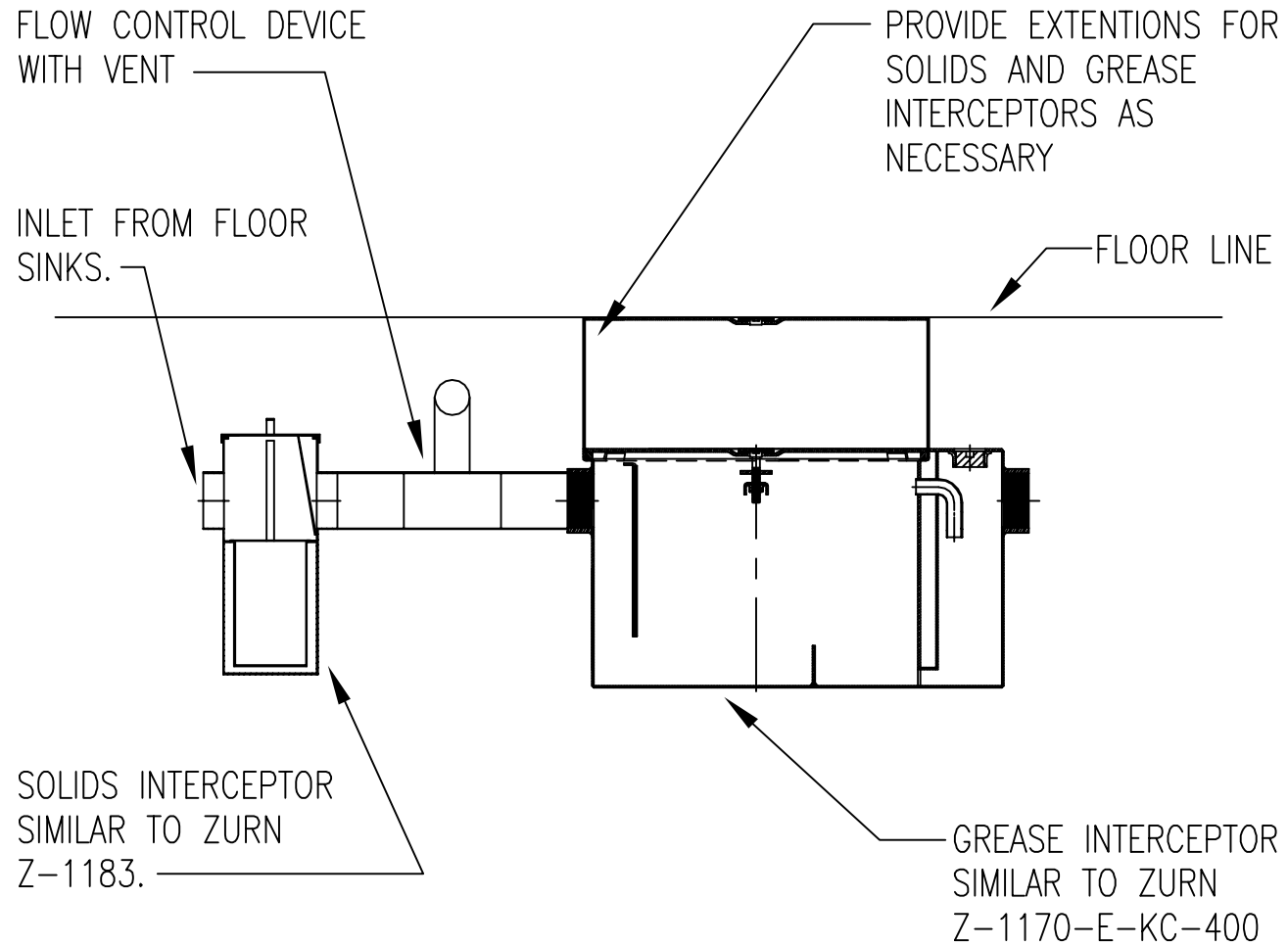
NOTES

1. COORDINATE FINAL ELECTRICAL CONNECTIONS WITH ARCHITECT PRIOR TO COMPLETING TERMINATIONS.
2. PROVIDE METAL FLASHING AT METAL ANGLE SUPPORTERS- CONTINUOUS- TO MATCH WALL PANEL SYSTEM.

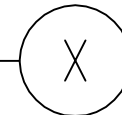
SIDE WALL SECTION

SCALE: 3/4" = 1'-0"

03
A311



GREASE INTERCEPTOR DETAIL
NO SCALE



PARTICIPATION AGREEMENT
BETWEEN
THE NAVAJO NATION DIVISION OF COMMUNITY DEVELOPMENT DIVISION
CAPITAL IMPROVEMENT OFFICE (CIO)
AND
THE STATE OF UTAH - NAVAJO TRUST FUND (UNTF)

1. The parties, along with other entities, have agreed to jointly fund the construction of the Monument Valley Vendors Village (the Project) described in Attachment A to this agreement.
2. UNTF is the fiscal agent for the Project and will coordinate payment of construction costs by the participating parties.
3. The NN-CIO has approved two grants: \$150,00.00 as part of the \$1 million Capital Outlay Projects and \$800,000 as approved by the NN-Council Transportation and Community Development Committee (TCDC) on June 21, 2005 for a total of \$950,000.00 to be used for the construction costs on a cost reimbursement basis.
4. UNTF will submit invoices for completed construction to NN-CIO for up to \$950,000.00 of construction costs for the Project.
5. NN-CIO shall remit payment for such invoices to UNTF within 30 days of receipt of the invoices.
6. The State of Utah holds title to the land that the Project is being built on. Construction of the Project is under the direction of the State of Utah, Division of Facilities Construction and Management (DFCM) and is governed by the procurement laws and procedures of the State of Utah as requested by the Navajo Nation and agreed upon in the Memorandum of Understanding dated April 09, 2001 (hereby attached as Exhibit "B").
7. DFCM agrees to abide by all applicable Federal and State laws, rules, regulations and executive orders of the Governor of the State of Utah pertaining to equal employment opportunity. In accordance with these laws, regulations and executive orders issued pursuant thereto, the DFCM agrees, except as set forth below, that no person shall, on the ground of race, color, national origin, sex, age, sexual orientation or handicap, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity related to this contract. However, because this project is taking place within the territorial limits of the Navajo Nation, contractors and subcontractors shall give employment preference to Native Americans living on or near the Navajo Nation in hiring employees to work on the project, as allowed by Title VII of the 1964 Civil Rights Act, 42 U.S.C 2000e-2(i) and U.C.A. 1953 § 34A-5-106(3)(b), provided such Native Americans are qualified for the specified work and have applied in a timely manner with the contractor or subcontractors. DFCM will make this a requirement of the contract between DFCM and the general contractor. If the contractor or said subcontractors are found to be not in compliance with these requirements

during the life of this Agreement, DFCM agrees to take appropriate steps to correct these deficiencies.

8. The parties agree that prior to resorting to legal remedies, the parties shall use their diligent good faith efforts to resolve the dispute, and each party shall continue to perform in accordance with the other provisions of this Agreement during the pendency of the dispute. The parties shall attempt to negotiate a just and equitable settlement thereof. Toward that end, each party will communicate and/or meet with the other in good faith and attempt to reach a solution satisfactory to both parties.

If the negotiation does not resolve the dispute, then the following shall apply: Any action or proceeding brought by the UNTF against the Navajo Nation in connection with or arising out the terms and conditions of this Agreement shall be brought only in the Courts of the Navajo Nation and any action or proceeding brought by the Navajo Nation against the UNTF shall be brought only in the courts of the State of Utah.

9. Nothing contained herein shall be interpreted as constituting a waiver, express or implied, of the sovereign immunity of the Navajo Nation or of the State of Utah.

IN WITNESS WHEREOF,

FOR THE NAVAJO NATION

Arbin Mitchell, Exec. Director Date
Division of Community Development

Joe Shirley, Jr., President Date
President of the Navajo Nation

FOR THE STATE OF UTAH

F. Keith Stepan, Director Date
Division of Facilities & Construction Mgmt

Tony Dayish, Administrator Date
Utah Navajo Trust Fund

EXHIBIT A - THE PROJECT

DIVISION OF COMMUNITY DEVELOPMENT CAPITAL IMPROVEMENT OFFICE

Oljato Chapter

MONUMENT VALLEY VENDORS VILLAGE PROJECT

SCOPE OF WORK Updated: August 18, 2005

A. PROJECT DESCRIPTION

This project intends to construct six (6) buildings to serve as selling and vending spaces for Navajo artisans at the intersection of Utah State Highway 163 and Indian Route 42 in Monument Valley, Utah. Four buildings will have 10 spaces each for artisans, one building will contain four (4) food vendors with a central eating area (food court), and one support/utility control building. The underground utilities and site work is also included in the work to be completed.

This project is separated in two projects even though both are on the same site. The Public Project (welcome center) is being administered by the State of Utah – Department of Transportation (UDOT) in which they will be constructing parking areas, public restrooms (rest stop), amphitheater, interpretative/visitors center, and overall utilities and site work. Matching fund partners are UDOT, the State of Arizona-Dept of Transportation, State of Utah-Navajo Revitalization Fund, the Navajo Nation – Tourism Department, San Juan County, and Utah Travel Council.

The Private Project (Vendors Village) is being administered by the State of Utah – Facilities & Construction Management (DFCM) taking the lead role as the construction management agency and the State of Utah – Navajo Trust Fund as the Fiscal Agent. This project will build the six buildings to be used by Navajo artisans for individual (or private) sales of arts & crafts. The match funding partners for the Private Project are the Navajo Nation Economic Development Division, Navajo Nation Abandoned Mine Lands/UMTRA/Reclamation, State of Utah-Navajo Trust Fund, State of Utah-Navajo Revitalization Fund, State of Utah-Dept of Transportation, San Juan County (Utah), and the USDA Rural Development through the Four Corners Economic Enterprise.

B. PROJECT OBJECTIVES

The Architect for the Monument Valley Welcome Center Project is David Sloan & Associates from Albuquerque, NM and the Architect for the Vendors Village Project is EMA Architects from Salt Lake City, Utah. The bid for the Welcome Center Project was advertised in March of 2004, all bids were over the engineers estimate substantially so all bids were refused and the RFP was re-bid in November of 2004. The contract for this project was awarded to Calvin Wadsworth Construction company of Salt Lake City in February of 2005. The construction started in mid-March. Up to June 6, 2005, the underground utility work, site work, foundations, and block walls of the building have been completed. The roof trusses and roofing work will be next. The RFP for the Vendors Village was advertised in December of 2004 but all bids were refused because the bids for this project came in over the engineer's estimate as well. This project is planned for re-bid in June of 2005. The Welcome Center Project is planned to be totally completed by December of 2005.

C. IMPLEMENTATION

The Architect (EMA Architects of Salt Lake City) is selected and being paid from the Utah Navajo Trust Fund monies; all other funding sources including the CIO funds will pay for the construction costs of the project. The contractor has not been selected at this time. But once the contractor is selected and starts on the project, monthly construction progress meetings will be held with the involved parties. During construction, a construction inspector will make periodic monitoring inspections and report to the Architect and the funding parties. Any discrepancies with the plans and specs, errors, or quality of construction issues will be corrected by the contractor. When the project is completed, the buildings will be transferred to the Navajo Nation and a one-year warranty will go into effect. During the warranty period, any warranty items will be corrected by the contractor.

D. TIME FRAME

The architectural work has been completed. The plans and specifications have undergone code review and the re-bid is planned to be advertised on August 29, 2005 for a 30-day period. Once a contractor is selected and a contract is signed, the contractor will submit a construction schedule that will identify the exact dates of construction. The estimate at this time that the advertisement will be conducted during the month of August & September of 2005 and the construction period is projected to run from September 2005 to February 2006.

E. BUDGET

The budget for the overall project is \$3.76 million and the budget for the Vendors Village project is \$1.95 million, of which the CIO is contributing \$950,000. The following chart shows the amounts being contributed by each matching partner.

Interpretative (Welcome) Center

AZ Dept of Transport	\$2,810,500
UT Dept of Transport	500,000
NN-Tourism Dept	250,000
NN-Tourism Dept (powerline)	83,000
San Juan County	100,000
State of Utah-Travel Council	50,000
State of Utah-Navajo Revit Fund	50,000

3,843,500

Arts & Crafts Vendors Village

NN-CIO (June 21, 2005 - TCDC)	800,000
NN-CIO (Aug. 23, 2003 - TCDC)	150,000
NN Economic Dev Division	\$47,000
NN-Abandoned Mine Lands	300,000
USDA-4CEC	157,300
State of Utah-Navajo Revit Fund	100,000
State of Utah-UNTF	250,000
State of Utah-Oljato Chapt (UNTF)	150,000

1,954,300